



HOME INSPECTION

08/01/16

1234 Oak Street
Manassas, VA 20109

Inspection. Integrity.



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Prepared with care for
Joe Sample

Property address
1234 Oak Street
Manassas, VA 20109



OUR SERVICE COMMITMENT

Our reputation is built on decades of honesty, integrity and excellent service to our customers at one of the most important decisions in their lives – buying or selling a home. We are committed to ensuring that each of our customers enjoys an exceptional inspection experience.

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OBJECTIVES AND SCOPE

This document is a home inspection report designed to assist a buyer, seller or homeowner to evaluate the condition of a home, as well as its immediate surrounding areas, at a specific date and time.

The inspector conducts an evaluation of the home and permanently-installed, readily-accessible systems and components. The inspector conducts the inspection and prepares the inspection report according to standards promulgated by the American Society of Home Inspectors (ASHI) and state agencies, as applicable.

The inspection is limited in scope.

The inspection is not intended to be an exhaustive evaluation of a home, systems or components. The inspector does not disassemble equipment, dismantle items, move furnishings or stored items, lift floor coverings, open walls, or disturb items which belong to the occupant(s). The inspector may not specifically address every component in the home, e.g., numerous items such as windows, electrical outlets and light fixtures may be randomly selected and evaluated. The inspector does not evaluate items that are inaccessible, concealed or underground. Therefore, the home or property may have issues that cannot be discovered by the inspector. For more information, please refer to Limitations and Exclusions in our Inspection Services Agreement.

The inspection addresses visible and apparent conditions which exist at the date and time of the inspection.

The inspector endeavors to identify and accurately report on visible issues which affect the construction, general maintenance, and overall safety of the home and its immediate surrounding areas. Conditions may change, perhaps dramatically, between the date and time of the inspection and the date and time of settlement and/or move-in.

The inspection report reflects observations and opinions of the inspector.

Subsequent inspections or evaluations performed by other parties may yield different, and in some cases, contradictory findings. There can be several reasons for discrepancies in findings, including the interval between inspections, differences in the objectives or scope of each inspection, and background, training, and subjective opinions and experiences of the individuals performing an inspection.

The inspection does not eliminate all risks involved in a real estate transaction.

The inspection does not anticipate subsequent events or changes in performance of the home due to changes in use or occupancy. We recommend that you obtain information which is available about the home and property, including seller's disclosures, previous inspection reports, engineering reports, building permits, remodeling permits, and reports delivered for or by municipal inspection departments, lenders, relocation companies, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have occurred.

The inspection is not a code inspection.

The inspection may address issues which refer to a particular code but the inspector does not conduct a code compliance inspection or code safety inspection, and does not verify compliance with manufacturer's installation instructions for any system or component. We are not authorized to regulate or enforce code compliance, and must instead operate under the reasonable presumption that the home is compliant with all code requirements. Please contact the relevant government authority or original equipment manufacturer for information related to construction, addition or remodeling permits, energy efficiency ratings, or other issues relating to code compliance.

GENERAL INFORMATION**CLIENT**

Name	Joe Sample
E-mail	joe@joesample.com
Phone	555.555.5555

REALTOR

Name	Jill Sample
E-mail	jill@jillsample.com
Phone	555.555.5555

INSPECTOR

Name	Dave Sample
E-mail	dave@davesample.com
Phone	555.555.5555
License #	12345

INSPECTION DETAILS

Job #	UT42504N
Property Type	Single Family
Year built	1945
Estimated square feet	1500
Date	08/01/17
Time	2:00PM
Temperature	75F
Weather (today)	Overcast
Weather (yesterday)	Rain
Direction home faces	North
Parties present	Buyer
Occupancy	Occupied

Directions referred to in this report (i.e. left side, rear, etc.) assume you are facing the home from the front.

DEFINITION OF TERMS



Acceptable

Performs intended function.



Not Present

Does not exist in home or on property.



Not Inspected

Inaccessible, seasonal impediment, etc.



Repair

Excessively worn, non-functioning, or missing part of a system; corrective action generally is required to ensure proper operation and/or to improve system reliability or condition.



Safety Issue

or

















Major Concern

Serious violation of established safety standards.

Structurally unsound, unsafe, and/or inoperative; likely to require significant expense.

SUMMARY

EXTERIOR

-  Driveway
-  Walks
-  Patio
-  Fence
-  Retaining Wall
-  Siding
-  Trim
-  Chimney
-  Doors
-  Stairs/Steps
-  Stoop
-  Porch
-  Deck/Balcony
-  Garage Vehicle Door
-  Garage Vehicle Door Opener
-  Carport






ROOF

-  Covering
-  Flashing
-  Skylight






STRUCTURE

-  Foundation
-  Beams
-  Piers/Posts
-  Floor
-  Wall
-  Roof
-  Roof Sheathing
-  Attic Access
-  Crawl Space Access


WATER CONTROL

-  Gutter/Downspout
-  Drain
-  Grading
-  Window Well
-  Sump Pump










INSULATION AND VENTILATION

-  Attic Insulation
-  Basement Insulation
-  Crawl Space Insulation
-  Ventilation
-  Humidity Control











INTERIOR

-  Floors
-  Walls
-  Ceilings
-  Stairs/Steps
-  Cabinets
-  Countertops
-  Doors
-  Windows
-  Fireplace
-  Fireplace Damper
-  Fireplace Doors/Screens
-  Fuel-burning Appliances












ELECTRICAL

-  Service
-  Panel
-  Sub-Panel
-  Branch Circuits
-  Grounding/Bonding
-  Receptacles
-  Switches
-  Fixtures
-  Smoke/CO Detectors






HVAC

-  Heating System
-  Cooling System
-  Circulator Pump/Fan
-  Compressor
-  Condensate System
-  Distribution
-  Exhaust/Draft System
-  Heat Exchanger
-  Humidifier
-  Thermostat












PLUMBING

-  Service
-  Main Shut-off
-  Supply Pipes
-  Drain, Waste, Vents
-  Toilet
-  Tub/Shower
-  Sink
-  Water Heater
-  Water Heater Exhaust Draft
-  Water Heater TPRV
-  Whirlpool Tub

FUEL SERVICES

-  Tanks
-  Lines/Pipes
-  Valves
-  Vents
-  Meter

APPLIANCES

-  Range/Oven
-  Oven
-  Microwave
-  Cooktop
-  Garbage Disposal
-  Dishwasher
-  Refrigerator/Freezer
-  Other Built-ins
-  Ventilation System
-  Washer
-  Dryer

SUMMARY

MAJOR CONCERN

Structure - Foundation

- 01 There are step cracks in the foundation wall. Step cracks indicate that the foundation has settled or is settling. Location: Right rear corner. *Hire a contractor for an evaluation and to make required repairs.*

Structure - Beams

- 02 The beams are deteriorated. This can affect their load-bearing capacity. The cause of the deterioration should be identified. Location: Left side of the crawlspace. *Hire a contractor for an evaluation and to make required repairs.*

SAFETY ISSUE

Exterior - Stairs/Steps

- 03 The handrail is missing. This is a safety hazard. Location: Front and rear porches. *Install a handrail.*

Exterior - Porch

- 04 The guardrail is missing. This is a safety hazard. Location: Rear porch. *Hire a contractor to make required repairs.*

Exterior - Deck/Balcony

- 05 The guardrail is too low. This is a safety hazard. Guardrails should be at least 36" high. Location: Rear balcony. *Hire a contractor to make required repairs.*

Electrical - Service

- 06 There is deteriorated insulation on the service entrance cable. This is a safety hazard. Location: Exterior left rear corner below the meter. *Hire an electrician to make required repairs.*

Electrical - Panel

- 07 There are double-tapped breakers at the electrical panel. Most contacts are not designed to safely secure more than one wire. Location: Main panel. *Hire an electrician to make required repairs.*

Electrical - Branch Circuits

- 08 There are missing cover plates. This is a safety concern that defeats the enclosure's fire rating and permits contact with energized components. Location: Basement near the steps. *Hire an electrician to make required repairs.*

- 09 There are exposed wire splices. This is a safety hazard. All wiring splices must be in an approved junction box with a proper cover and permanently accessible. Location: Attic at the front right corner. *Hire an electrician to make required repairs.*

Electrical - Receptacles

- 10 The receptacle is in a wet area without a weather cover. This is a safety hazard. Location: Right side exterior wall. *Install a weather-rated exterior cover.*
- 11 There is a defective GFCI receptacle. This is a safety hazard. Location: Kitchen counter near the sink. *Hire an electrician to make required repairs.*

Fuel Services - Lines/Pipes

- 12 The flexible appliance connector is improperly installed. It is passing through the floor from the basement into the fireplace. This is a safety hazard. Location: Basement below the fireplace. *Hire a contractor to make required repairs.*

REPAIR

Exterior - Driveway

- 13 The driveway is deteriorated. Cracks permit moisture to enter, which can cause further damage. Uneven surfaces are trip hazards. Location: Right side of the house. *Replace the driveway.*

Exterior - Walks

- 14 The walk is deteriorated. This is a tripping hazard, and will allow water penetration to cause further damage. Location: Left side, Rear. *Hire a contractor to make required repairs.*

SUMMARY

Exterior - Siding

- 15 There are cracks in the siding. This permits moisture penetration and will cause further damage. Location: Left side center window, Left side front, Rear downstairs window. *Hire a contractor to make required repairs.*

Exterior - Stairs/Steps

- 16 There are cracked steps. This permits water penetration, and will lead to further damage. Location: Rear porch. *Repair or replace the steps.*

Roof - Covering

- 17 The shingles are improperly installed. The ends of the tabs line up and are not offset from one row to another. This can allow leaks. Location: Main roof. *Hire a contractor to make required repairs.*
- 18 The roof is leaking. This will allow interior damage. The included infrared image clearly shows an area of temperature difference consistent with moisture pooling in the ceiling. Moisture is confirmed with a moisture meter. Location: Front right bedroom, right wall. *Hire a contractor to make required repairs.*
- 19 The starter course of shingles is missing at the eaves. This will allow leaks and cause deterioration. Location: Front dormer. *Hire a contractor to make required repairs.*

Insulation and Ventilation - Crawl Space Insulation

- 20 There is loose or falling insulation inside the crawl space. This affects energy efficiency. Location: Right side of the crawlspace. *Repair or replace the insulation.*

Insulation and Ventilation - Ventilation

- 21 The bathroom fan is venting into the attic. This can lead to moisture and mold/mildew problems. Location: Above the master bathroom. *Hire a contractor to make required repairs.*

Interior - Windows

- 22 The window has a failed insulated glass seal. This permits condensation stains to develop on the inside of the glass and will increasingly compromise visibility and appearance. Location: Kitchen sink. *Repair or replace the window.*
- 23 The window sill is damaged. This will allow water penetration. Location: Living room, front right. *Repair or replace the window.*

HVAC - Heating System 2

- 24 One of the panels in the radiant heating system is inoperative. It does not respond to the normal controls. It is outlined and indicated in the included infrared image. Location: Den ceiling, right side. *Hire an electrician to make required repairs.*

HVAC - Cooling System 2

- 25 The temperature differential is too low. This "Delta-T" is the temperature difference between the supply and return air. The proper range is 14F - 22F. Location: Second floor system. *Hire an HVAC contractor to make required repairs.*

HVAC - Condensate System

- 26 The primary condensate system is leaking into the secondary catch pan. The catch pan is not draining properly and is retaining water. This will encourage corrosion, possible mildew or mold growth, and may allow water damage. Location: Attic air handler. *Hire an HVAC contractor to make required repairs.*

Plumbing - Drain, Waste, Vents

- 27 There is evidence that the drain pipes are leaking. The infrared image included shows a pattern consistent with moisture pooling below the tub and sink drains. Moisture is confirmed with a moisture meter. This will cause water damage to the surrounding areas. Location: Kitchen ceiling below the master bathroom. *Hire a plumber to make required repairs.*

Plumbing - Toilet

- 28 The toilet's fill valve is damaged. This affects proper function. Location: Powder room. *Repair or replace the fill valve assembly.*

Plumbing - Sink

- 29 The sink drain is leaking. This can allow water damage. Location: Upstairs hall bathroom. *Hire a plumber to make required repairs.*

SUMMARY

Plumbing - Water Heater TPRV

- 30 The water heater's Temperature Pressure Relief Valve (TPRV) is leaking. It may not function as required, and can cause water damage. Location: Basement water heater. *Hire a plumber to make required repairs.*

PHOTOS



EXTERIOR

LOTS AND GROUNDS

Driveway	Asphalt
Walks	Concrete
Fence	Wood

EXTERIOR

Siding	Stucco (conventional)
Chimney	Brick
Doors	Wood
Stoop	Concrete
Porch	Covered, Screened-In, Wood
Deck/Balcony	Wood

INFORMATION

Siding requires periodic maintenance, including cleaning. Add finish (paint or stain) to areas which may become unprotected due to erosion by weather.


All window and door penetrations, siding terminations and trim intersections should be sealed on a routine basis to help prevent water penetration.

The walk is near or at the end of its useful life. We recommend establishing a budget to replace the walk.

Wood trim is subject to deterioration and requires periodic maintenance, including cleaning. Keep trim material sealed with paint or stain to protect it from moisture penetration. Repair and caulk gaps prior to recoating.

COMMENTS


Exterior - Driveway

	Issue	The driveway is deteriorated. Cracks permit moisture to enter, which can cause further damage. Uneven surfaces are trip hazards.
	Location	Right side of the house
	Action	Replace the driveway.



EXTERIOR

Exterior - Walks

-  **Issue** The walk is deteriorated. This is a tripping hazard, and will allow water penetration to cause further damage.
- Location** Left side, Rear
- Action** Hire a contractor to make required repairs.




Exterior - Patio

-  Not present.


Exterior - Fence

-  No issues noted.

Exterior - Retaining Wall

-  Not present.

Exterior - Siding

-  **Issue** There are cracks in the siding. This permits moisture penetration and will cause further damage.
- Location** Left side center window, Left side front, Rear downstairs window
- Action** Hire a contractor to make required repairs.



EXTERIOR

Exterior - Trim

✓ No issues noted.

Exterior - Chimney

✓ No issues noted.

Exterior - Doors

✓ No issues noted.

Exterior - Stairs/Steps

✗ Issue The handrail is missing. This is a safety hazard.
Location Front and rear porches
Action *Install a handrail.*



✗ Issue There are cracked steps. This permits water penetration, and will lead to further damage.
Location Rear porch
Action *Repair or replace the steps.*



Exterior - Stoop

✓ No issues noted.

EXTERIOR

Exterior - Porch

- X** Issue The guardrail is missing. This is a safety hazard.
Location Rear porch
Action Hire a contractor to make required repairs.



Exterior - Deck/Balcony

- X** Issue The guardrail is too low. This is a safety hazard. Guardrails should be at least 36" high.
Location Rear balcony
Action Hire a contractor to make required repairs.



Exterior - Garage Vehicle Door

- ⊖ Not present.

Exterior - Garage Vehicle Door Opener

- ⊖ Not present.

Exterior - Carport

- ⊖ Not present.

ROOF

COVERING

Location	Main house
Material	Asphalt shingle
Age (Years)	5 to 10
Estimated Useful Life When New (Years)	20 to 25
Inspection Method	Walked accessible areas

INFORMATION

Estimated remaining life of roofing is subjective and depends on numerous criteria, which vary by roof and may include the following variables:

- i) direction and exposure to the sun, i.e., the more directly the roof is exposed to the sun, the shorter the roof's life, e.g., south-facing slope generally wears out faster than a north-facing slope;
- ii) slope of the roof, i.e., the higher the slope, the faster water drains off, e.g., higher- sloped roofs generally last longer than lower-sloped roofs;
- iii) color of the roof, i.e., lighter roofs are cooler and generally last longer; color may affect the temperature of the roof surface by as much as 10F to 20F;
- iv) weight of the roof covering, i.e., heavier shingles typically last longer than lighter shingles;
- v) quality of the sheathing, i.e., type and thickness of materials used; and
- vi) attic ventilation, i.e., proper attic ventilation helps to control temperature of the roof during hot weather and is essential to reduce moisture-related sheathing damage.

Estimates of age and remaining life are based on an inspector's experience, as well as numerous assumptions and variables, including the aforementioned variables. Therefore, inspector estimates should be considered a general guide.

Please note that roof leaks often are due to flashing or valley failures. If there are roofing leaks, inspect the flashings or valleys before assuming that damaged or deteriorated roofing material is the cause of the water penetration.

COMMENTS

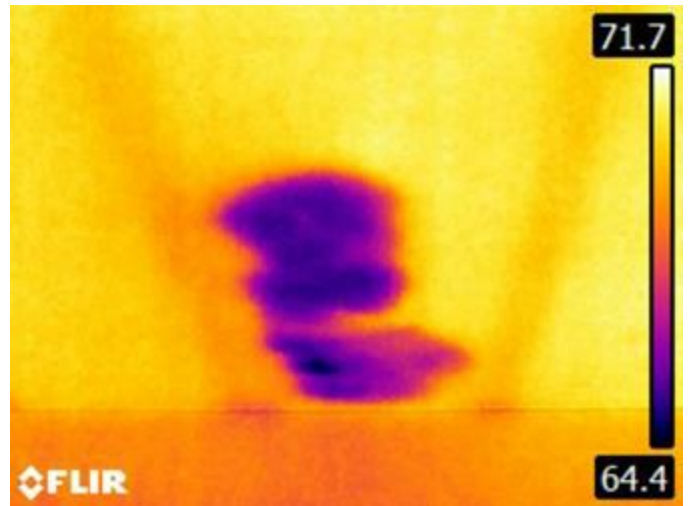
Roof - Covering

- X** Issue The shingles are improperly installed. The ends of the tabs line up and are not offset from one row to another. This can allow leaks.
Location Main roof
Action Hire a contractor to make required repairs.



ROOF

- X** Issue The roof is leaking. This will allow interior damage. The included infrared image clearly shows an area of temperature difference consistent with moisture pooling in the ceiling. Moisture is confirmed with a moisture meter.
- Location Front right bedroom, right wall
- Action Hire a contractor to make required repairs.



- X** Issue The starter course of shingles is missing at the eaves. This will allow leaks and cause deterioration.
- Location Front dormer
- Action Hire a contractor to make required repairs.



Roof - Flashing

- ✓** No issues noted.

Roof - Skylight

- Not present.

STRUCTURE

FOUNDATION

Foundation	Basement, Crawl Space Brick and Concrete Block
Beams	Wood
Piers and Posts	Brick
Floor	Conventional Framing Dimensional lumber
Walls	Wood framing
Roof	Conventional Framing Dimensional lumber
Roof Sheathing	Plywood

ATTIC

Access Location	Front right bedroom
Access Type	Pull-down stairs
Visibility	70%
Inspection Method	Entered

CRAWL SPACE

Access Location	Half basement
Access Type	Hatch
Visibility	80%
Inspection Method	Entered

LIMITATIONS

Foundation	Some areas are inaccessible and/or not visible due to height, design and materials; therefore, inspection is limited.
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COMMENTS

Structure - Foundation

X Issue	There are step cracks in the foundation wall. Step cracks indicate that the foundation has settled or is settling.
Location	Right rear corner
Action	<i>Hire a contractor for an evaluation and to make required repairs.</i>



STRUCTURE

Structure - Beams

- ❌ Issue The beams are deteriorated. This can affect their load-bearing capacity. The cause of the deterioration should be identified.
- Location Left side of the crawlspace
- Action Hire a contractor for an evaluation and to make required repairs.



Structure - Piers/Posts

- ✅ No issues noted.

Structure - Floor

- ✅ No issues noted.

Structure - Wall

- ✅ No issues noted.

Structure - Roof

- ✅ No issues noted.

Structure - Roof Sheathing

- ✅ No issues noted.

Structure - Attic Access

- ✅ No issues noted.

Structure - Crawl Space Access

- ✅ No issues noted.

WATER CONTROL

ROOF DRAINAGE

Gutters and Downspouts

Conventional
Aluminum

LOT DRAINAGE

Grading

Window Well

INFORMATION

The overwhelming majority of water penetration problems is caused by surface water that is not managed properly. Grading which slopes towards the foundation of the home permits water to accumulate at the foundation; poor maintenance of gutter and downspout systems also contributes to water accumulation problems.

Grading around the home should be maintained so that surface water does not accumulate close to the foundation. Grading should slope away from the home at a rate of approximately 1" per 1' for at least 6'.

In order to divert water away from the foundation, soil must be dense and slope away from the foundation. In situations in which regrading is not a reasonable option, an interior hydrostatic pressure relief system with a sump pump may be required.

Keep gutters and downspouts clean and free of debris or obstructions. Gutters which hold water tend to sag, overflow, and may cause water penetration to occur through below grade foundation walls. Homes near trees require more frequent gutter and downspout cleaning to ensure continued proper functionality. Roof gutters should be installed with adequate slope towards the downspouts to allow for proper draining of the gutters. Downspouts should deposit roof water away from the walls of the house with splash blocks or downspout extensions. The grades in the areas where the water is being deposited must slope away from the walls and properly divert water from the house.

COMMENTS

Water Control - Gutter/Downspout

 No issues noted.

Water Control - Drain

 Not present.

Water Control - Grading

 No issues noted.

INSULATION AND VENTILATION

INSULATION

Attic Insulation	Fiberglass, loose
Approximate Depth	10 inches
Crawl Space Insulation	Fiberglass batts

VENTILATION

Ventilation	Bathroom Fan, Eave Vent, Ridge Vent
Humidity Control	Crawl Space Vents

INFORMATION

Attic ventilation is critically important. During summer or humid months, inadequate attic ventilation can lead to roof degradation because of high temperatures or moisture. During winter or colder months, inadequate attic ventilation can lead to condensation, mold or mildew development, sheathing problems and indoor air quality problems.

Ice dam leaks occur in winter if a roof system is not properly ventilated and/or insulated. The situation usually occurs when outside temperatures are below freezing and the attic temperature is above freezing with snow on the roof. As snow melts, it runs down the roof, and then refreezes at the colder eaves, forming an ice dam, which backs up under the roof covering near the eaves. The general remedy to ice damming is to improve attic ventilation and/or insulation, the objectives of which are to provide proper air flow and to keep the attic and roof sheathing as cool as possible.

COMMENTS

Insulation and Ventilation - Attic Insulation

✓ No issues noted.

Insulation and Ventilation - Basement Insulation

⊖ Not present.

Insulation and Ventilation - Crawl Space Insulation

✗ Issue There is loose or falling insulation inside the crawl space. This affects energy efficiency.
Location Right side of the crawlspace
Action *Repair or replace the insulation.*



INSULATION AND VENTILATION

Insulation and Ventilation - Ventilation

- ❌ Issue The bathroom fan is venting into the attic. This can lead to moisture and mold/mildew problems.
Location Above the master bathroom
Action Hire a contractor to make required repairs.



Insulation and Ventilation - Humidity Control

- ✅ No issues noted.

INTERIOR

INTERIOR

Floors	Wood
Walls	Drywall
Ceilings	Drywall
Stairs/Steps	Conventional
Windows	Double Hung, Fixed Vinyl, Wood

FIREPLACE

Location	Dining room
Type	Gas Logs
Materials	Masonry
Ventilation	Chimney

LIMITATIONS

Fireplace	Storage/personal items restrict access to the fireplace; therefore, inspection is limited.
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COMMENTS

Interior - Floors

✓ No issues noted.

Interior - Walls

✓ No issues noted.

Interior - Ceilings

✓ No issues noted.

Interior - Stairs/Steps

✓ No issues noted.

Interior - Cabinets

✓ No issues noted.

Interior - Countertops

✓ No issues noted.

Interior - Doors

✓ No issues noted.

INTERIOR

Interior - Windows

- ✕ **Issue** The window has a failed insulated glass seal. This permits condensation stains to develop on the inside of the glass and will increasingly compromise visibility and appearance.
- Location** Kitchen sink
- Action** *Repair or replace the window.*



- ✕ **Issue** The window sill is damaged. This will allow water penetration.
- Location** Living room, front right
- Action** *Repair or replace the window.*



Interior - Fireplace

- ✓ No issues noted.

Interior - Fireplace Damper

- ⊖ Not present.

Interior - Fireplace Doors/Screens

- ⊖ Not present.

Interior - Fuel-burning Appliances

- ⊖ Not present.

ELECTRICAL

SERVICE

Source	Overhead
Conductor	Aluminum
Service Disconnect Type	Circuit Breaker
Service Disconnect Location	Main panel in the basement
Grounding/Bonding	Driven Rod

PANEL

Location	Basement left rear wall
Type	Circuit Breaker
Amperage	150
Voltage	120/240

DISTRIBUTION

Wiring Type(s)	Non-Metallic Sheathed Cable (Romex)
Wiring Material(s)	Copper

LIMITATIONS

Smoke/CO Detectors	One in four smoke detectors do not operate properly even if the test button indicates otherwise; therefore, replace smoke detectors which are >10 years old or have damaged test buttons.
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INFORMATION

The age of batteries in smoke detectors and carbon monoxide detectors is not evident; therefore, we recommend installation of new batteries upon occupancy of the home.

Please note that the function of photo-electrically controlled lights, motion detector devices, and those controlled by timers is beyond the scope of a general home inspection.

COMMENTS

Electrical - Service

X Issue	There is deteriorated insulation on the service entrance cable. This is a safety hazard.
Location	Exterior left rear corner below the meter
Action	<i>Hire an electrician to make required repairs.</i>



ELECTRICAL

Electrical - Panel

- ✕ **Issue** There are double-tapped breakers at the electrical panel. Most contacts are not designed to safely secure more than one wire.
- Location** Main panel
- Action** *Hire an electrician to make required repairs.*



Electrical - Sub-Panel

- ⊖ **Not present.**

Electrical - Branch Circuits

- ✕ **Issue** There are missing cover plates. This is a safety concern that defeats the enclosure's fire rating and permits contact with energized components.
- Location** Basement near the steps
- Action** *Hire an electrician to make required repairs.*



ELECTRICAL

- ❌ **Issue** There are exposed wire splices. This is a safety hazard. All wiring splices must be in an approved junction box with a proper cover and permanently accessible.
- Location** Attic at the front right corner
- Action** Hire an electrician to make required repairs.



Electrical - Grounding/Bonding

- ✅ No issues noted.

Electrical - Receptacles

- ❌ **Issue** The receptacle is in a wet area without a weather cover. This is a safety hazard.
- Location** Right side exterior wall
- Action** Install a weather-rated exterior cover.



ELECTRICAL

- ✗ Issue There is a defective GFCI receptacle. This is a safety hazard.
Location Kitchen counter near the sink
Action *Hire an electrician to make required repairs.*



Electrical - Switches

- ✓ No issues noted.

Electrical - Fixtures

- ✓ No issues noted.

Electrical - Smoke/CO Detectors

- ✓ No issues noted.

HEATING AND COOLING

HEATING SYSTEM 1

Location	Basement
Type	Furnace
Energy Source	Natural gas
Age (Years)	8
Estimated Useful Life When New (Years)	15 to 20

HEATING SYSTEM 2

Location	Den ceiling
Type	Radiant Panel
Energy Source	Electric
Age (Years)	20
Estimated Useful Life When New (Years)	15 to 20

HEATING SYSTEM 3

Location	Attic
Type	Furnace
Energy Source	Natural gas
Age (Years)	8
Estimated Useful Life When New (Years)	15 to 20

COOLING SYSTEM 1

Location	Right side compressor, Basement air handler
Type	Central Split
Temperature at Return	73
Temperature at Supply	55
Energy Source	Electric
Age (Years)	1
Estimated Useful Life When New (Years)	10 to 15

COOLING SYSTEM 2

Location	Right side compressor, Attic air handler
Type	Central Split
Temperature at Return	73
Temperature at Supply	67
Energy Source	Electric
Age (Years)	1
Estimated Useful Life When New (Years)	10 to 15

DISTRIBUTION

Distribution	Ductwork, Radiant
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HEATING AND COOLING

INFORMATION

HVAC manufacturers recommend replacement/cleaning of air filters at regular intervals; dirty filters restrict airflow, reduce efficiency, impair air quality, and reduce overall service life expectancy of HVAC equipment.

Maintain the compressor unit free of debris, shrubs, ice and snow; the compressor should be maintained regularly to permit proper airflow through the coils, which promotes system efficiency and longevity. Manufacturers recommend a minimum clearance of 2' from the sides, and 5' from the top.

COMMENTS

HVAC - Heating System 1

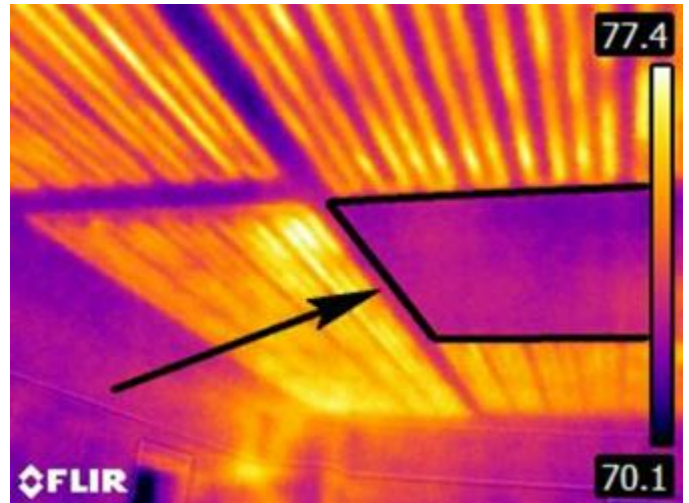
✓ No issues noted.

HVAC - Heating System 2

✗ Issue One of the panels in the radiant heating system is inoperative. It does not respond to the normal controls. It is outlined and indicated in the included infrared image.

Location Den ceiling, right side

Action Hire an electrician to make required repairs.



HVAC - Heating System 3

✓ No issues noted.

HVAC - Cooling System 1

✓ No issues noted.

HEATING AND COOLING

HVAC - Cooling System 2

- ❌ **Issue** The temperature differential is too low. This "Delta-T" is the temperature difference between the supply and return air. The proper range is 14F - 22F.
- Location** Second floor system
- Action** Hire an HVAC contractor to make required repairs.



HVAC - Circulator Pump/Fan

- ✅ No issues noted.

HVAC - Compressor

- ✅ No issues noted.

HVAC - Condensate System

- ❌ **Issue** The primary condensate system is leaking into the secondary catch pan. The catch pan is not draining properly and is retaining water. This will encourage corrosion, possible mildew or mold growth, and may allow water damage.
- Location** Attic air handler
- Action** Hire an HVAC contractor to make required repairs.



HVAC - Distribution

- ✅ No issues noted.

HEATING AND COOLING

HVAC - Exhaust/Draft System

✓ No issues noted.

HVAC - Heat Exchanger

✓ No issues noted.

HVAC - Humidifier

⊖ Not present.

HVAC - Thermostat

✓ No issues noted.

PLUMBING

SUPPLY AND PIPES

Service	Public
Service Pipe	Copper
Water Pressure (psi)	63
Main Shut-off Location	Crawl space at the front left
Interior Supply Piping	Copper
Drain/Waste/Vents	Cast iron, PVC

WATER HEATER

Location	Basement
Type	Conventional Tank
Fuel Type	Natural gas
Capacity (Gallons)	50
Age (Years)	22
Estimated Useful Life When New (Years)	10 to 15

INFORMATION

Visible, accessible portions of supply and drain lines are inspected; however, most supply and drain lines are not visible and, therefore, can't be visually inspected.

Check drainage at all plumbing fixtures and associated appliances during pre-settlement walk-through. Recommended hot water temperature is approximately 120 °F or lower.

The water heater is past the end of its useful life; it likely has limited service life remaining. We recommend establishing a budget to replace the water heater.

COMMENTS

Plumbing - Service

✓ No issues noted.

Plumbing - Main Shut-off

✓ No issues noted.

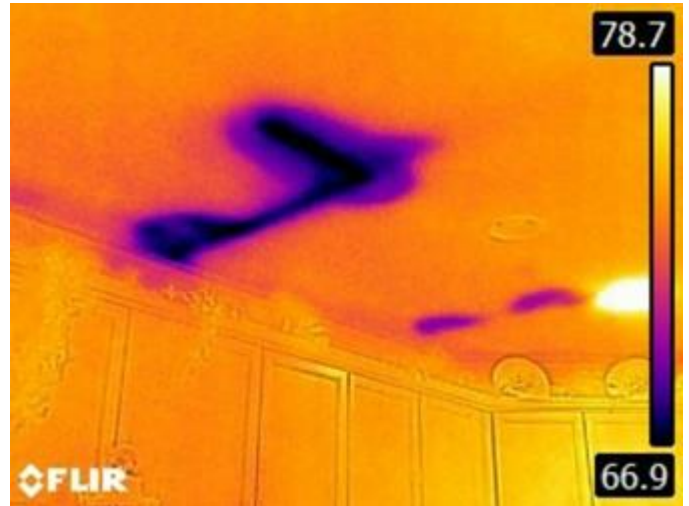
Plumbing - Supply Pipes

✓ No issues noted.

PLUMBING

Plumbing - Drain, Waste, Vents

- X** Issue There is evidence that the drain pipes are leaking. The infrared image included shows a pattern consistent with moisture pooling below the tub and sink drains. Moisture is confirmed with a moisture meter. This will cause water damage to the surrounding areas.
- Location Kitchen ceiling below the master bathroom
- Action Hire a plumber to make required repairs.



Plumbing - Toilet

- X** Issue The toilet's fill valve is damaged. This affects proper function.
- Location Powder room
- Action Repair or replace the fill valve assembly.



Plumbing - Tub/Shower

- ✓** No issues noted.

PLUMBING

Plumbing - Sink

- ✕ Issue The sink drain is leaking. This can allow water damage.
- Location Upstairs hall bathroom
- Action Hire a plumber to make required repairs.



Plumbing - Water Heater

- ✓ No issues noted.

Plumbing - Water Heater Exhaust Draft

- ✓ No issues noted.

Plumbing - Water Heater TPRV

- ✕ Issue The water heater's Temperature Pressure Relief Valve (TPRV) is leaking. It may not function as required, and can cause water damage.
- Location Basement water heater
- Action Hire a plumber to make required repairs.



Plumbing - Whirlpool Tub

- ⊖ Not present.

FUEL SERVICES

FUEL SERVICES

Main Fuel Valve Location
Meter

Right side exterior at the gas meter
Right side exterior

LIMITATIONS

Valves

The inspector does not operate or test shut-off valves.

COMMENTS

Fuel Services - Tanks

⊖ Not present.

Fuel Services - Lines/Pipes

- ✗ Issue The flexible appliance connector is improperly installed. It is passing through the floor from the basement into the fireplace. This is a safety hazard.
- Location Basement below the fireplace
- Action Hire a contractor to make required repairs.



Fuel Services - Valves

✓ No issues noted.

Fuel Services - Vents

⊖ Not present.

Fuel Services - Meter

✓ No issues noted.

APPLIANCES

KITCHEN

Range/Oven

Natural Gas
Free-Standing
Built-In

Dishwasher

INFORMATION

Clean dryer vents at regular intervals. Ductwork should be rigid material and as short and straight as possible. If ductwork extensions are required, sections should be taped together as opposed to connected with screws to ensure that lint does not collect on any screw points. If clothing requires an unusually long time to dry, or if airflow is weak at the exhaust end of the duct, the vent may be clogged. Dryer fires are not uncommon and dryer vent restriction is one cause of dryer fires.

COMMENTS

Appliances - Range/Oven

✓ No issues noted.

Appliances - Oven

⊖ Not present.

Appliances - Microwave

⊖ Not present.

Appliances - Cooktop

⊖ Not present.

Appliances - Garbage Disposal

⊖ No issues noted.

Appliances - Dishwasher

✓ No issues noted.

Appliances - Refrigerator/Freezer

⊖ Not present.

Appliances - Other Built-ins

⊖ Not present.